



SAFE LIVING INSPECTIONS

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FRAMING STAGE INSPECTION - SAFE LIVING

1234 Main Street
Adelaide, SA

Buyer Name

18/09/2026 9:00AM

Inspector

Rupinder Singh

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Surveying

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ITEMS INSPECTED



GENERAL
ADVICE/MAINTENANCE ITEM



RECTIFICATION

SUMMARY

- 3.2.1 Slab Internal - Slider Door track: Slider Door Track Backfill
- 4.1.1 Roof/Site Drainage System - Site Grading: Poor Site Grading
- 4.2.1 Roof/Site Drainage System - Stormwater Drainage System (Underground): Unprotected Drain Openings
- 5.4.1 Roof Framing - Triple Grips (Truss Tie): Incomplete Truss and Top Plate Connection
- 5.8.1 Roof Framing - Tie - Downs: Incomplete Tie-Down Connections
- 6.9.1 Wall Framing - Noggings: Missing Nogging in Frame
- 6.20.1 Wall Framing - Slider Door: Slider Door Alignment
- 8.4.1 Beams and Columns - Structural posts : Structural Post Base Plate Support
- 9.2.1 Tie-down - Metal Roof (N2 wind classification) - Bottom Plate to Floor Frame or Slab: Bottom Plate Fixing Spacing Exceeds Standard
- 10.1.1 Termite Management - Physical Barriers: Physical Barrier Not Installed
- 10.2.1 Termite Management - Termite Management Notice: Termite Management Notice Not Found

1: DISCLAIMER & TERMS OF USE

Information

Disclaimer & Terms of Use

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This report represents the professional opinion of Safe Living Inspections and is based upon a visual inspection of the residential dwelling at the specified address, a review of provided documentation, and the application of the inspector's knowledge, training, and experience.

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2: INSPECTION DETAILS

Information

Occupancy Under Construction	Style Modern	Temperature 14 Celsius (C)
Type of Building Single Family	Weather Conditions Clear	Documentation Architectural Plans Supplied, Truss Plans Supplied
Builder Clean Required	Inspection Date Riverlea Park SA 20/08/2026 Frame Inspection 0800AM	

3: SLAB INTERNAL

		VF	GA	D	MD	UI	NA
3.1	General	X					
3.2	Slider Door track	X	X				

VF = Visually Fine GA = General Advice D = Defect MD = Major Defect UI = Unable to Inspect NA = Not Applicable

Information

General: Inspection Method
Visual

Deficiencies

3.2.1 Slider Door track

SLIDER DOOR TRACK
BACKFILL

 General Advice/Maintenance Item



The slider door track to be backfilled with concrete mix. This work should be completed to properly support the track and prevent settling or movement that could affect door operation and weather sealing.

4: ROOF/SITE DRAINAGE SYSTEM

		VF	GA	D	MD	UI	NA
4.1	Site Grading		X				
4.2	Stormwater Drainage System (Underground)			X			

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Information

Inspection Method	Roof Type/Style
Ground	Hip

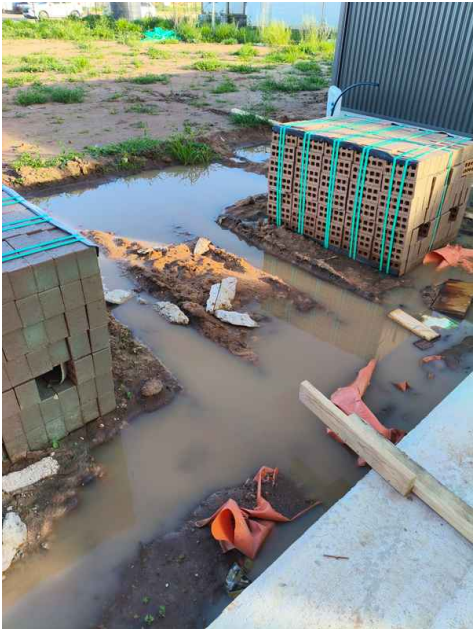
Deficiencies

4.1.1 Site Grading

Rectification

POOR SITE GRADING

Site grading around the foundation requires attention to prevent water accumulation near the slab. Water pooling in this area can lead to foundation moisture problems. Builder should evaluate the slope and drainage patterns to ensure proper water flow away from the foundation.

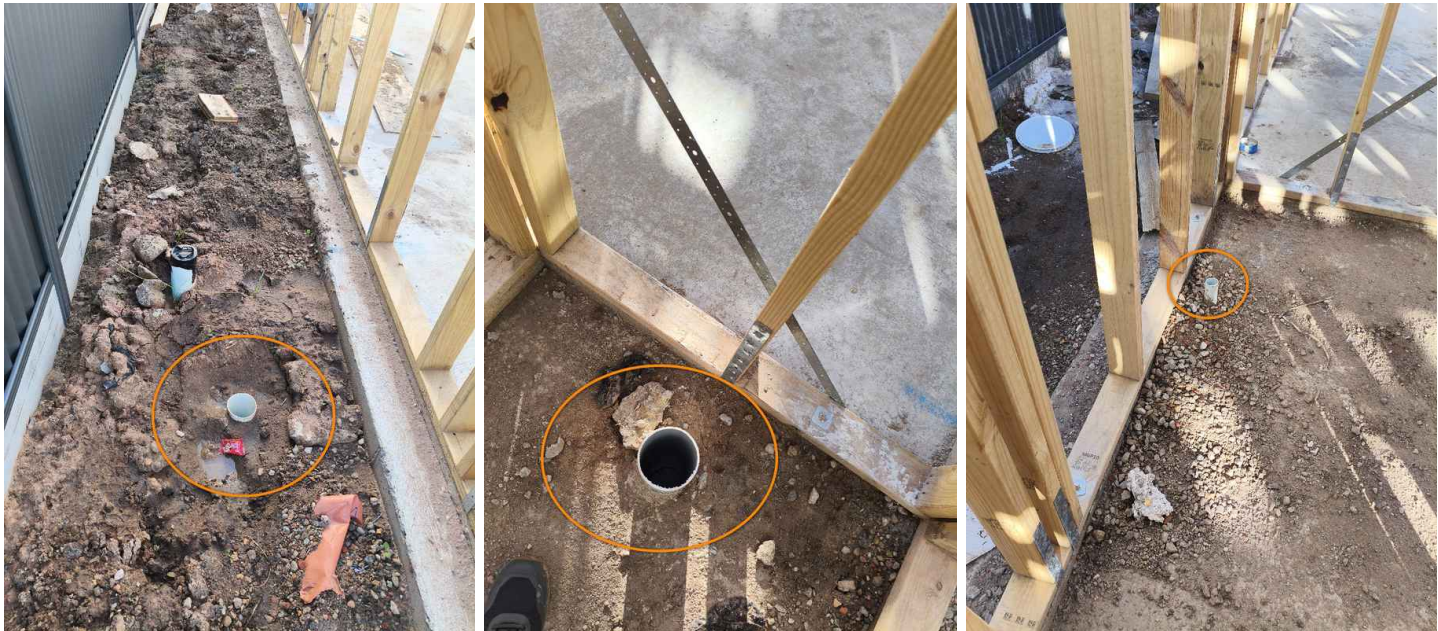


4.2.1 Stormwater Drainage System (Underground)

Rectification

UNPROTECTED DRAIN OPENINGS

Drain openings for the underground drainage system require protective covers to prevent pest entry and debris accumulation. These openings should be secured and shielded during construction to maintain system integrity and prevent contamination or blockages.



5: ROOF FRAMING

		VF	GA	D	MD	UI	NA
5.1	Trusses/Layout	X					
5.2	Bracing (Roof)	X					
5.3	Hip Trusses	X					
5.4	Triple Grips (Truss Tie)			X			
5.5	Truss Boots	X					
5.6	Bracket Fixings	X					
5.7	Valley Boards	X					
5.8	Tie - Downs	X		X			

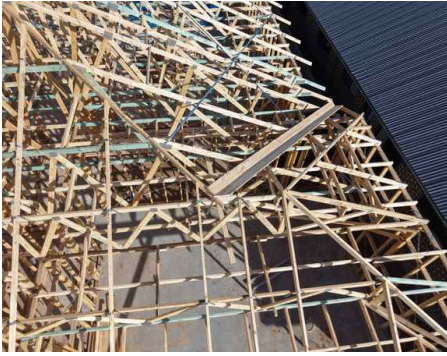
VF = Visually Fine GA = General Advice D = Defect MD = Major Defect UI = Unable to Inspect NA = Not Applicable

Information

Truss Framing Layout

The truss layout was visually inspected from ground level and supplemented with drone imagery. The framing configuration was found to be acceptable and structurally sound based on observable conditions.





Bracing (Roof): Inspection Method

Drone, On floor



Bracket Fixings: Acceptable



Valley Boards: Valley Boards - Appear fine

Valley boards are structural components in roof framing that form the interior angles where two roof slopes meet. These boards provide structural support and serve as the base for roof covering materials in these critical areas.



Tie - Downs: Roof Tie-Downs - Acceptable

Roof tie-downs are structural connectors that secure the roof framing to the walls and foundation of a home. These connections help resist uplift forces from wind and other lateral stresses, providing structural integrity and stability to the overall building envelope. Properly installed tie-downs are an important component of a home's resistance to environmental forces.



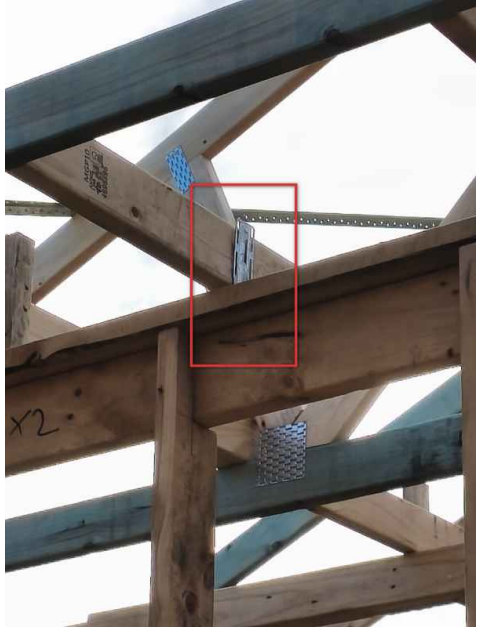
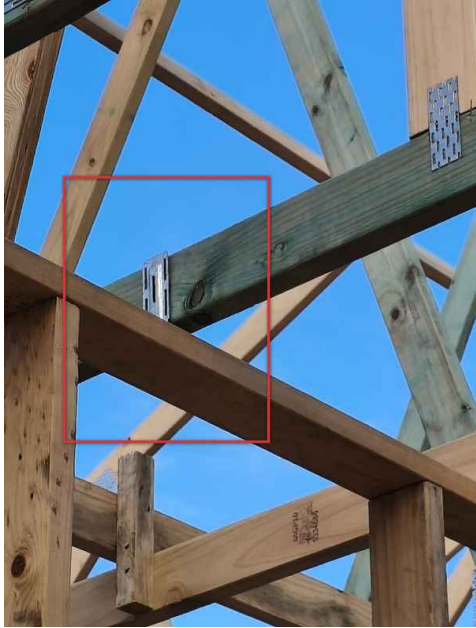
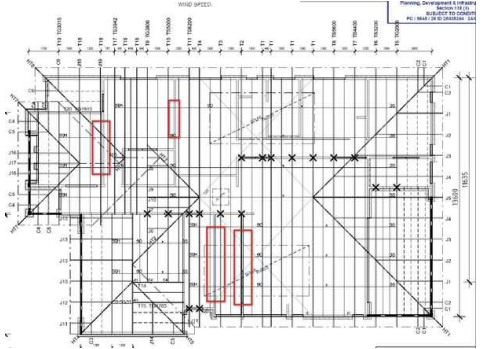
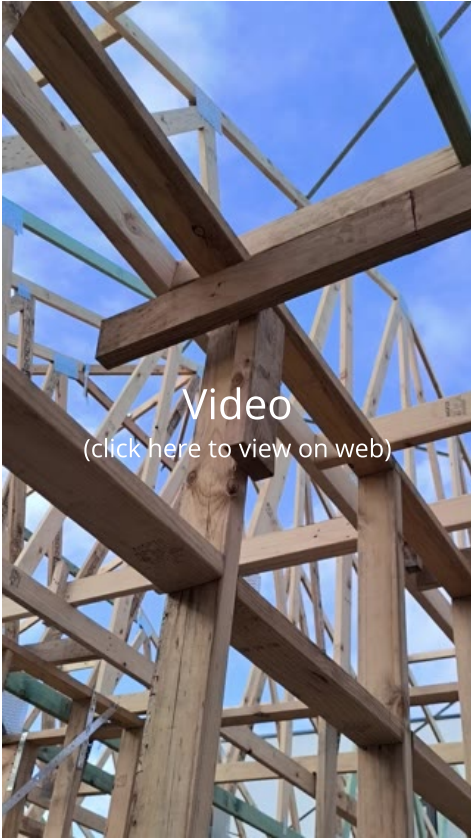
Deficiencies

5.4.1 Triple Grips (Truss Tie)

INCOMPLETE TRUSS AND TOP PLATE CONNECTION

The connection between the truss and top plate is incomplete, meaning the structural fasteners or ties securing these critical components are not fully installed or engaged. This connection is essential for transferring roof loads to the walls and preventing lateral movement.



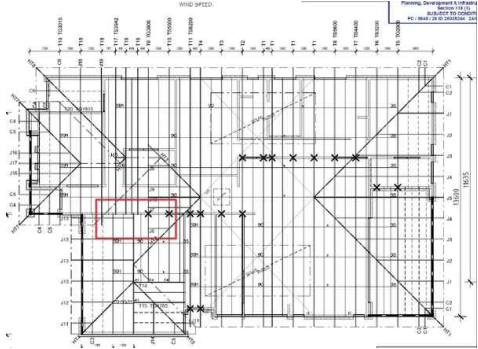


5.8.1 Tie - Downs

INCOMPLETE TIE-DOWN CONNECTIONS

The roof truss tie-downs to the top plate are incomplete. Roof trusses rely on secure connections to the top plate to resist uplift forces from wind and other lateral stresses.

 Rectification



6: WALL FRAMING

		VF	GA	D	MD	UI	NA
6.1	Slotted brackets	X					
6.2	Set Out	X					
6.3	Wall Heights	X					
6.4	Wall Fixings	X					
6.5	Junction Fixings	X					
6.6	Plumbness	X					
6.7	Frame/Opening Clearance	X					
6.8	Window Sill Trimmers	X					
6.9	Noggings	X		X			
6.10	Window/Door Lintels	X					
6.11	Jamb Studs	X					
6.12	Studs	X					
6.13	Bottom Plates	X					
6.14	Top plates	X					
6.15	Internal Load-bearing Walls	X					
6.16	Support Points	X					
6.17	Bracket Fixings	X					
6.18	Bulkheads						X
6.19	Windows	X					
6.20	Slider Door		X				

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UI = Unable to Inspect

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Information

Plumbness: Acceptable



Window/Door Lintels: Acceptable



Jamb Studs: Acceptable



Windows: Window Framing Condition

Window framing was inspected and found to be within acceptable tolerance limits.





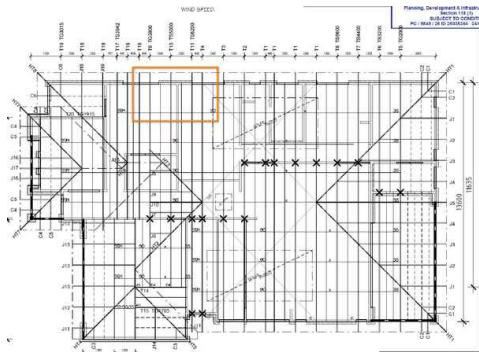
Deficiencies

6.9.1 Noggings

MISSING NOGGING IN FRAME

A nogging section was not installed between frame members during framing.

 Rectification



6.20.1 Slider Door

SLIDER DOOR
ALIGNMENT

ALFRESCO

 General Advice/Maintenance Item

The slider door exhibits a minor gap when closing, indicating misalignment of the door frame or rollers. This was observed during the wall framing inspection.



7: BRACING (WALLS ONLY)

		VF	GA	D	MD	UI	NA
7.1	Plywood/Hardboard Bracing	X					
7.2	Metal Angle Brace/Strap	X					
7.3	Fixing - Metal Strap/Angle Brace	X					
7.4	Bracing Tie down bolts/nails	X					

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Information

Metal Angle Brace/Strap: Metal Angle Brace/Strap - Acceptable

Metal angle braces and straps are structural reinforcement components used to provide additional lateral support and stability to wall framing.



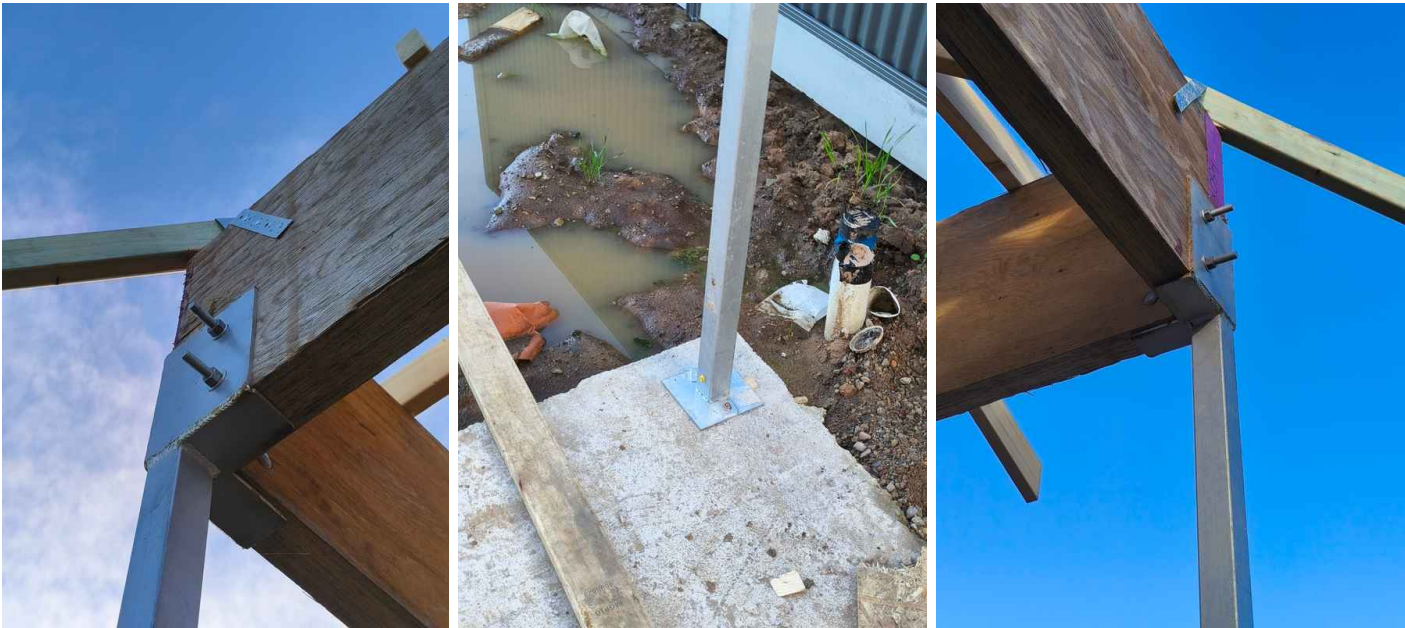
8: BEAMS AND COLUMNS

		VF	GA	D	MD	UI	NA
8.1	Internal Beams/Lintels	X					
8.2	External Beams/Lintels	X					
8.3	Steel Beams						X
8.4	Structural posts	X		X			

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Information

Structural posts : Acceptable



Deficiencies

8.4.1 Structural posts

STRUCTURAL POST BASE PLATE SUPPORT

The base plate of structural posts requires proper support on the concrete slab. The area should be filled with structural load-bearing mix to ensure adequate bearing capacity and prevent settling or movement of the posts over time.

Rectification



9: TIE-DOWN - METAL ROOF (N2 WIND CLASSIFICATION)

		VF	GA	D	MD	UI	NA
9.1	General	X					
9.2	Bottom Plate to Floor Frame or Slab	X		X			
9.3	Top & Bottom Plates To Studs	X					
9.4	Beams/Lintels to Posts/Studs	X					
9.5	Washers	X					

VF = Visually Fine

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NA = Not Applicable

Deficiencies

9.2.1 Bottom Plate to Floor Frame or Slab

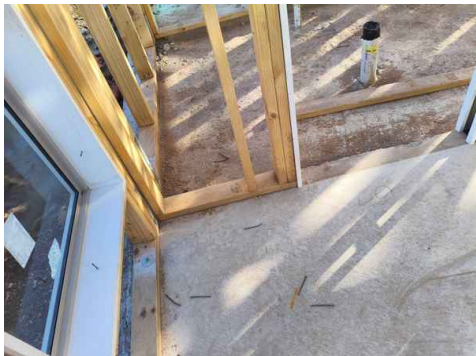
 Rectification

BOTTOM PLATE FIXING SPACING EXCEEDS STANDARD

The bottom plate fastening to the concrete slab exceeds the recommended maximum spacing of 1200mm between fixings. [Table 9.4 - AS1684]

If using deadbolt fasteners - Maintain a minimum of 50mm from the edge





10: TERMITE MANAGEMENT

		VF	GA	D	MD	UI	NA
10.1	Physical Barriers						X
10.2	Termite Management Notice						X

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Deficiencies

10.1.1 Physical Barriers

 General Advice/Maintenance Item

PHYSICAL BARRIER NOT INSTALLED

Termite physical barriers beneath the exterior walls have not been implemented at the time of inspection. The builder must verify whether this property is exempt from the risk of termite infestation or if alternative termite management strategies (such as chemical treatments) are to be employed. National Construction Codes (NCC) - 3.1.4.3 Termite management systems: In instances where a termite management system is stipulated, it must: (a) be selected in accordance with Table (Figure) 3.1.4.1; and (b) adhere to: (i) AS 3660.1; or (ii) have successfully undergone and passed the requisite evaluations delineated in Section 5 of AS 3660.3; and (c) be accompanied by a durable notice installed as per 3.1.4.4; and (d) in cases where a chemical termite management system is implemented, the chemicals employed must be listed on the relevant authority's pesticides register.

Recommendation

Contact a qualified professional.

10.2.1 Termite Management Notice

 General Advice/Maintenance Item

TERMITE MANAGEMENT NOTICE NOT FOUND

During the inspection, the termite management notice was not located within the meter box. National Construction Codes (NCC) - 3.1.4.4 Durable Notice: A durable notice must be affixed permanently to the structure in a conspicuous location, such as within a meter box or an equivalent site, indicating: (a) the termite management system employed; and (b) the date of the system's installation; and (c) when a chemical is utilized, its foreseeable lifespan as documented on the appropriate authority's registration label; and (d) the recommendations provided by the installer or manufacturer regarding the scope and frequency of subsequent inspections for termite activity.

Recommendation

Contact a qualified professional.

STANDARDS OF PRACTICE

Inspection Details

Under **AS 1684** (Residential Timber-Framed Construction), a timber frame inspection verifies structural integrity, load pathways, and compliance with the relevant wind classification before lining boards or wall cladding are applied.

Standard practice requires document verification against the certified structural engineering plans, floor truss layout, roof truss layout, and wind speed specifications.

Key Inspection Items Checklist

- Footing & Bottom Plate Connection:** Anchor bolts, chemical anchors, or masonry nails.
- Nogging & Wall Framing:** Wall studs must meet specified spacing, correct stud sizes for single/upper or lower storey loads, double studs under heavy lintels, and continuous horizontal noggings at maximum 1350mm vertical spacing.
- Lintels & Beam Support:** Correct timber grades and sizes for lintels spanning openings, minimum required end bearing on studs, and proper installation of secondary jam/trimmer studs.
- Tie-Down & Uplift Resistance:** Continuous load paths from roof to foundation, including cyclone straps, tie-down rods, framing anchors, or triple-grips correctly nailed at top plates, rafters, and trusses.
- Bracing Systems:** Wall bracing panels (sheet bracing, metal tension straps, or diagonal timber bracing) installed as per the framing manual, including correct edge distance for fasteners, bottom plate tie-down at bracing ends, and correct distribution across the building.
- Roof Trusses & Rafters:** Correct installation of truss boots, anti-buckling roof batten bracing, speed bracing, bottom-chord ties, and correct pitch alignment according to truss manufacturer's layout and AS 1684. Ensure ceiling battens or rafters are correctly seated without unauthorized notch cutting.
- Notching & Drilling Limits:** Verification that holes or notches cut into studs, top plates, or joists for plumbing/electrical services stay strictly within AS 1684 structural tolerance limits (e.g., top plate notch maximum depth thresholds).

Wall Framing

6.1.2 Wall frame members

Walls shall be framed with studs, plates, nogging, bracing, lintels, and the like, as typically shown in Figure 6.1 and as outlined in this Section.

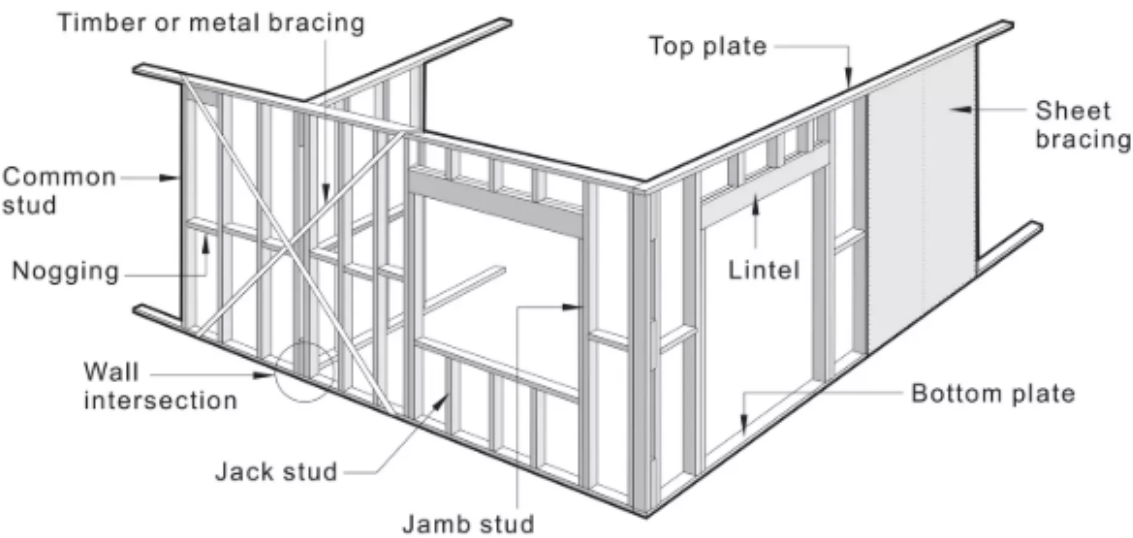


FIGURE 6.1 WALL FRAME MEMBERS